

VILLAGE OF
Antioch

DOWNTOWN FACADE GUIDELINES

COMMUNITY DEVELOPMENT DEPARTMENT

DOWNTOWN FAÇADE DESIGN GUIDELINES

The following design guidelines should be used by any owner of a building or an applicant of the Village's Downtown Façade Program for the following work on Downtown building exteriors:

- Any change to exterior windows
- Any change to exterior materials
- Any change to main doorway or entrance facing Main Street
- Any change to storefront.
- Changes to roofline or cornice
- Changing exterior colors.
- New exterior signage.
- New exterior lighting.
- Any plans for exterior renovation or modification.

These design guidelines are intended to ensure that any exterior changes to the existing facades along Main Street are completed in a sensitive manner consistent with the Secretary of Interior's standards. While Downtown Antioch is not historically protected, any façade modifications should have the ultimate goal of restoring the façade of each building to its original appearance during the identified historical period of significance.



SECRETARY OF INTERIOR STANDARDS

The following standards should be followed as part of these guidelines:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



Provided by Lakes Region Historical Society



Provided by Lakes Region Historical Society



Provided by Lakes Region Historical Society

HISTORIC ANTIOCH

The following Façade Guidelines are based on the historic façades of Downtown Antioch. Using the Secretary of Interior Standards, the goal of these guidelines is to restore each façade back to its original historic appearance when appropriate.

Therefore, the proposed “Façade Program” shall only subsidize façade restorations that are deemed to be appropriate and sensitive to the Village’s historical fabric. The following illustrations which have been kindly provided by the Lakes Region Historical Society provide guidance to building owners who may be seeking façade grants in the future.



FAÇADE IMPROVEMENT PROGRAM

Program Purpose

The Village of Antioch's Façade Improvement Program is designed to promote continued use and restoration of the commercial buildings that are located along Main and Lake Street in Downtown Antioch. The goal is to partner with the property owners and tenants and to assist in the rehabilitation and restoration of eligible buildings. Reimbursement grants are provided owners or tenants in recognition of the positive impact that individual building improvements can have on the overall appearance, quality, and vitality of the downtown.

Grant Eligibility

To be eligible for a Façade Improvement Program reimbursement grant, a building must be used in whole or part for commercial purposes in the Downtown. The target area shall be focused on Main Street from Lake, north to Orchard, and Lake Street from Main Street to Victoria. **The Village Board reserves the right to approve façade grants for structures outside these boundaries if deemed appropriate.**

Property owners or tenants who make a minimum of \$2,500.00 investment in qualifying improvements are eligible to receive a matching grant.

Funding Guidelines

Grants are available to make certain improvements to a building façade. A façade is defined as any building or structure elevation fronting a public roadway or viewable right-of-way (including an alley or courtyard), for purposes of this program. The grant shall be **a one**

-time reimbursement up to 50% of the total construction project, not to exceed \$100,000.00, unless otherwise approved by the Village for a multi-staged façade program. **Multiple grants on the same project shall not be permitted unless it is an approved phased project.**



GRANT REIMBURSEMENT

If costs exceed the original estimate, the property owner or tenant will be responsible for the full amount of the excess. The Village of Antioch will not reimburse more than the total amount specified in the Agreement. Any work commenced prior to Village Board approval and signing of the Façade Improvement Agreement will not be eligible for reimbursement funding, unless after the fact approval is granted by the Village Board. **The applicant will have six months to complete the work from the date of approval.** Owners or tenants may request a six-month extension provided that there is a demonstrated hardship.

Grant reimbursement will occur upon completion of the improvements and after proof of payment has been received. If the applicant is doing his/her own labor, funding will be reimbursed for material costs. The Village may enlist the services of an architect or construction manager to provide independent review of the construction costs to provide an opinion as to whether the costs are commensurate with prevailing construction costs and consistent with the contractor bids. These expenses would be incurred by the applicant or deducted from façade grant.

Once completed, the applicant must maintain and may not alter or change the improvements for a period of five years unless a request for modification is approved by the Village Board. The Village will not reimburse for repair, replacement or other alterations for a period of seven years from date of original grant.

Façade grants are subject to Federal and State taxes and are reported to the Internal Revenue Service on Form 1099. All applicants should confer with their tax advisors.

Façade Grants that exceed \$10,000 should be submitted with architectural drawings by a licensed architect, unless waived by the Community Development Department.

The Village reserves the right to require the services of an architect for the project with a significant scope of work, historic significance, or otherwise. If the Village approves the project, the architect may provide bidding and construction plans and documents, as well as construction supervision. Only architectural services directly related to the approved façade improvement will be reimbursed. The façade grant program will provide reimbursement of 50% of Village approved architectural services not to exceed 10 percent of the eligible construction costs, which amount is in addition to the \$100,000.00 cap for reimbursement of construction costs.

Façade Improvements not eligible for grant

The following improvements are not eligible for a façade grant

- Simple maintenance of a building including roof, HVAC, gutter, replacements.
- Repainting of a building without any other exterior renovations.
- Awnings only without any other exterior renovations.
- Any modifications not consistent with these design guidelines
- Landscaping

Application Review Process

Any interested party in a Façade Grant should schedule a pre-application meeting with Village staff prior to any submittal. Prior to a submittal, a Façade Grant Application should be completed. The Village retains the right to approve an entire request, to approve portions of a request, suggest or ask for changes, or to deny any request or portion thereof. All façade applications will be reviewed by the Village Board. Prior to the Village Board consideration, staff shall prepare a staff report outlining the façade request, along with submitting any drawings pertaining to the façade request. Every application shall be evaluated by staff using the following Façade Design Guidelines.



FAÇADE GRANT PROCESS

Below is the process for a “Façade Grant” for the Village. All Façade Grants are at the full discretion of the Village Board, and no applicant and the Village has the complete discretion in approving or denying a Façade Grant:

1. Meet with the Community Development Director and the Liasson with the Antioch Preservation Commission in a Pre-Application Meeting.
2. Submit a “Complete Façade Application” with an “Architectural Drawing” from a licensed architect for Staff review.
3. Façade Grant Application goes before the “Antioch Historic Preservation Commission” for feedback.
4. Façade Grant goes before Village Board for review and final approval.
5. Applicant enters into a “Façade Agreement” with the Village covering the approved façade grant.
6. **The applicant has six months to complete the façade work. If work is not completed within six months, applicant will be required to obtain an extension from Village Board.**
7. Once façade is completed, the applicant is required to submit copies of paid invoices and waiver of liens for Staff to review.
8. Façade work is approved by Staff and the Finance Department is authorized to re-imburse façade amount, consistent with the Façade Agreement.
9. **The applicant can seek 50% reimbursement of the architectural costs from subject to using a licensed architect in the design of the façade.**



FAÇADE SUBMITTAL REQUIREMENTS

- Completed Application
- Historic Photographs of building if available
- Architectural drawing
- Identified materials being proposed.
- Color board (identifying paint color)
- Executed “Façade Agreement”
- Identification of all contractors being used.
- Evidence of paid invoices.
- Complete waiver of liens.



Current facade



Historic Facade

As an example how this façade program will work, the starting point for any façade grant should be looking back at the historic pictures of the subject building. Every effort should be made to use the Secretary of Interior standards in a façade restoration.

The illustrations on this page show historic pictures of the old “King Pharmacy” on Main Street. Using these pictures, any future façade restoration should include the following improvements:

- The central Tudor gable should be restored with the two dormers along the roofline.
- The original window fenestration should be restored on the second floor.
- The first-floor storefront windows and doors should be restored.



Provided by Lakes Region Historical Society



Provided by Lakes Region Historical Society



Provided by Lakes Region Historical Society



Provided by Lakes Region Historical Society

RESTORE HISTORIC STOREFRONT



Sensitive signage with goose neck external lighting

Restoration of original cornice and frieze board

Restoration of wood bulkheads below window system.

Restore and use original storefront door with transom

One of the major goals of these design guidelines is to use them hand in hand with the Village's proposed façade program. Any exterior changes or renovation of existing facades in Downtown Antioch should consider the following guidelines:

- The original window design and store front bulkheads should be restored.
- Original materials are recommended to be used in storefront restoration which were usually wood millwork, stone or cast iron.
- Historic door patterns with transoms should be used in restorations of store front facades.
- The use of synthetic materials or a modern store front system are discouraged.
- Original architectural details should be restored.



DOORS and ENTRANCES

The design of doors and entrances is important to the overall design of a historic façade. Too often, the original location of doors has been moved and the original doors have been removed and replaced with a contemporary commercial door. Historically, doors were centered between storefront windows and were often recessed into the storefront. In addition, these centrally placed doors generally incorporated a transom above the door.

Recommended:

- Maintain or restore original opening
- Maintain original door location
- Door design should reflect historic photos and design
- Identify, preserve and retain entrance features, including doors, sidelights and pilasters.
- Entrances to second floor apartments should mirror door design to main store.

Not Recommended

- Replacing historic door with modern contemporary door.
- Removing or altering entrance in a way that impacts historic character of a storefront.
- Using door materials that do not match historic character.
- Cutting new entrances into storefront.
- Removing transom windows.



Encourage



Good example of bulkhead— existing store on Main Street

BULKHEADS

An important design element of any historic storefront is the “Bulkhead” which is the area below the storefront display windows. Bulkheads are the platform which supports these windows and they can have a tremendous impact on shaping the character of a storefront. Along Main Street, numerous “Bulkheads” have been replaced with cheap “bead board” and so much of the original character of Main Street has been damaged because of poor design choices.

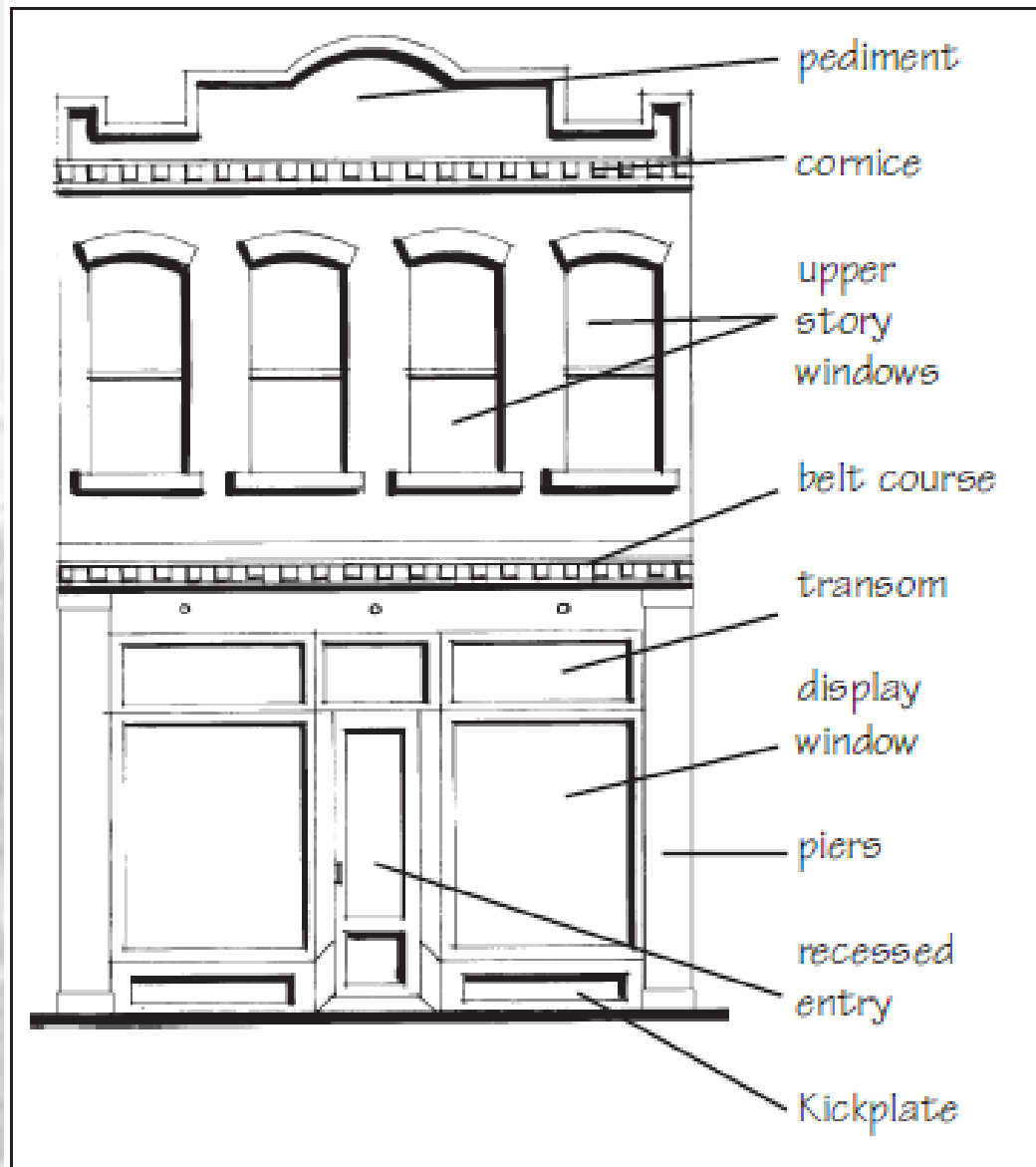
Historically, most “Bulkheads” were constructed with wood, with recessed panels and millwork surrounding the panels. The illustration above shows a good example of a “Bulkhead”, with recessed wood panel with surrounding trim.

A façade application should incorporate an “Architectural Drawing” of the bulkhead design showing the following elements:

- Materials being proposed, the guidelines recommend either wood or smart board.
- Show design, including proposed millwork and trim around recessed panels.
- Recessed panels without trim are discouraged.
- The recessed panels and surrounding wood should incorporate different colors.



Good example of “Bulkhead” -recessed wood panels with wood trim.



STOREFRONT

The Village's Façade program requires an applicant to look at the original historic appearance of a building to qualify for the program, and applicant must bring back original historic design elements from the historic appearance of the structure. Many of the existing storefronts on Main Street have been substantially altered and many, if not most of the architectural detail has been removed in these buildings.

As reflected in the illustration to the left, many of the buildings along Main Street date back to the second half of the nineteenth century or the turn of the 20th century. Numerous buildings along Main Street incorporate these classic design elements, ranging from a prominent cornice to large display windows. However, in most cases these buildings have been crudely modified with bad materials and insensitive renovations that reflected the taste of the times.

Based on this fact, the merits of a façade application will be evaluated by Staff on the merits of Historic Restoration of the building. Economic Development has trumped preservation in several recent examples, which has damaged the long-term historic character of Downtown Antioch.

WINDOWS

The preservation of historic windows is critically important to the overall historic appearance of a building. Numerous historic buildings along Main Street have modified windows on both the first and second floors, and the historic character of the buildings has been seriously compromised due to this fact.

Display windows

- Storefront windows should be configured in their original configuration and should be as large as possible.
- Historic features surrounding the storefront windows should be preserved or restored, including decorative molding, columns, and original materials.
- Store window glass should be transparent and incorporate visual interest.
- Street interest is created by attractive storefront windows and good window design.
- The design of the bulkhead below a storefront window should be seen as a unified design with the

Upper Floor Windows

- Upper floor windows should be design in harmony with existing architectural style of a building.
- Upper windows should reflect repetitive, vertical style of pattern along the street.
- Windows that have been modified on the second floor should be restored to original size and opening.
- Second floor windows that have been filled in with stone, brick, or wood should be replaced with historic sized windows.

Replace historic windows with In-Kind Styles

- Replace the windows with the same style.
- Maintain historic size, shape, and number of panes.
- Match the profile of the sash, muntin and its design components to reflect the original historic window.
- Do not use vinyl or unfinished metals.
- Do not reduce historic window opening to accommodate smaller window.
- Do not incorporate reflective glass.
- If original window is damaged, use every effort to restore instead of replacing.



Upper Floor Windows

-Upper floor windows should be in harmony with the character, design and proportion of the building façade.

-Any modifications to upper floor windows including filling in with wood, brick, or stone should be removed and restored to original opening.

-If possible, original upper floor windows should be restored and if not possible, the original design of the windows should be duplicated.

Replace a historic window in-kind if repair is not possible.

-Replace with the same or similar material.

-If matching the original material is not possible or feasible, use replacement materials appropriate to the style and character of the building, such as wood, aluminum or vinyl-clad wood, or composite windows. Other non-traditional materials may be acceptable at the discretion of the Historic Preservation Commission, pending compatibility with the architectural style of the building, as well as compatibility of design, proportion, and details with the original or historic window.

-Match the appearance of the historic window design (i.e., if the historic is double-hung, use a double-hung replacement window.

-Make every effort to maintain the historic size, shape and number of windows.

-Use clear window glazing and avoid color glass if not historically accurate to the building.

-Do not reduce window opening to allow for the use of different of materials.

Preserve existing windows

-Every effort should be made to preserve the existing window features including frame, sash, muntins, mullions, glazing, sills, heads, jambs, molding, operation and grouping of windows.

-Windows should be repaired regularly including trim, glazing, frames and sashes.

-Repair rather than replace window frames, mullions, and muntins.

WINDOWS

Historic windows are significant to historic structures and every effort should be made to maintain the original windows. If replacement is necessary, the replacement window should incorporate historic design elements that reflect the original windows.

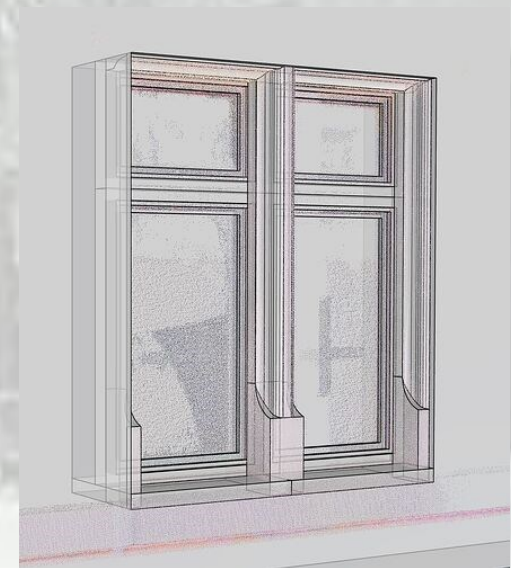
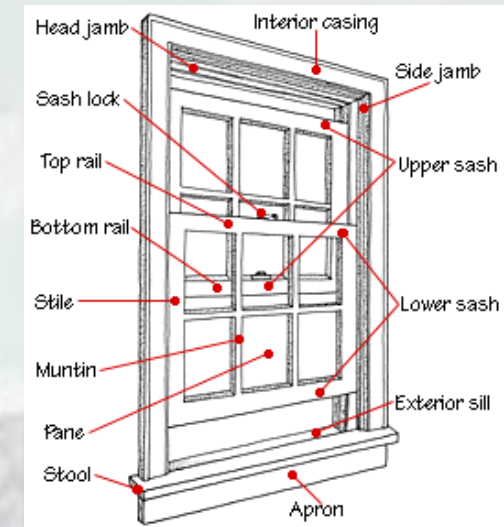
Store Front Windows

Storefront windows help define the character of Main Street and are a critically importance design feature of the buildings along Main Street. Besides the important character aspect, great storefront windows often help market a retail or restaurant and brings life to the street. Good storefront windows are

- First floor windows for a commercial space should be as large as possible, with the elevation of the window base and top of window consistent with the windows of surrounding buildings.
- Transparent glass rather than tinted, textured or dark glass is preferred.
- Historic features, i.e. decorative moldings, special glazing and frames should be preserved when possible.
- Window heights should be aligned, and window sizes should be unified to create a consistent look for the entire storefront.
- Transom windows are often divided panes found near the top of display windows. They focus more attention to the display area while allowing a maximum amount of natural light into the store.
- Transom windows are often glazed with patterned or colored glass.

Upper Floor Windows

-Upper floor windows should be in harmony with the character, design and proportion of the building façade.





Common Brick



River Stone



Limestone



Porcelain Tile



RESTORATION OF EXTERIOR MATERIALS

Any exterior work on Downtown facades should make every effort for the restoration of the original materials of the structure. In many cases, original materials have been removed on the first floor and replaced with historically insensitive replacements.

The following guidelines should be followed when restoring exterior facades:

- The original exterior materials should be restored and if they cannot be restored, they should be replaced with like materials.
- Painting of unpainted masonry is discouraged
- The sandblasting of brick is discouraged and the restoration of brick should use the method that will have the least negative impact on the historic brick conditions.
- Mortar color and mortar joint restoration work should be consistent with the original mortar color and joint style.
- Modern materials such as vinyl, prefabricated steel window systems, fiber cement board, smart board, and concrete block are discouraged.



Historic appearance of building-Notice second floor windows

RESTORE ORIGINAL WINDOW FENESTRATION

Window restoration is critically important in any successful facade renovation. Every reasonable effort should be made to restore the original windows that are located within the facade. The Secretary of Interior Standards calls for the restoration of existing windows if possible. If the windows have already been replaced or filled in with insensitive materials, then it is important that every effort be made to replace the windows with like kind replacements. By looking at historic photos of Downtown Antioch, efforts should be made to find window replacements that mirror the original windows. There are current window companies today that manufacture modern windows that reflect a historic pattern.



UPDATING STOREFRONTS



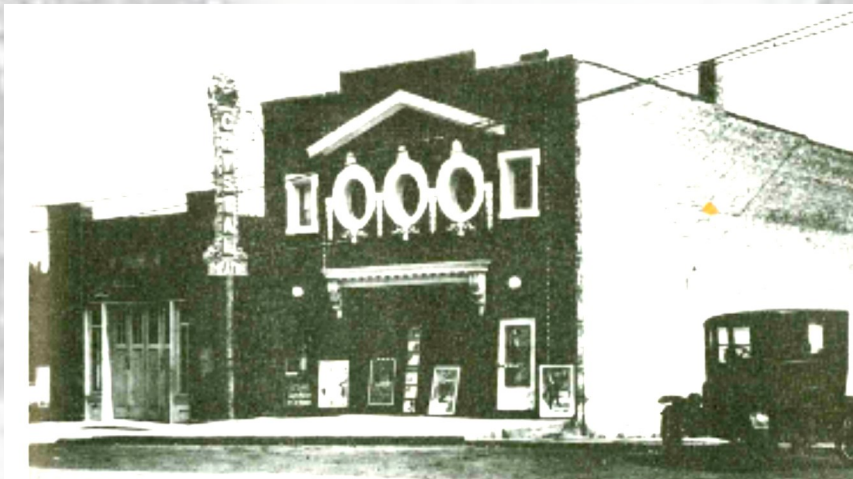
Often the purpose of a store will change and therefore the existing façade is no longer practical or functional for the new proposed use. As an example, the illustration to the left shows a vacant jewelry store. The display windows reflect a common window configuration for a jewelry store in mid-century Downtown. However, a current or future user may be looking for more display area or glass to open a store up and bring in more natural sunlight.



The following design guidelines recognize the importance of adaptive reuse of buildings, and this often requires a modification of the façade that may not exactly mirror the original. As an example, the illustration at the lower left shows how the vacant “Persian” jewelry store could be modified to provide more glass display area which would provide better visibility from the street.

When modifying a storefront from its previous historical appearance, the following design guidelines should be followed:

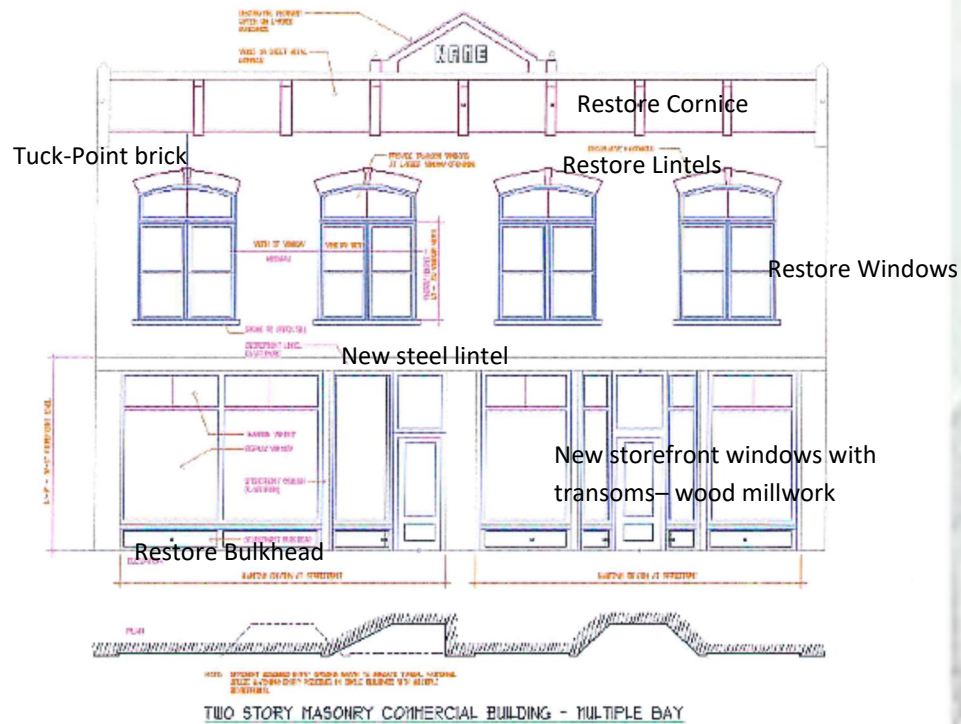
- Every effort should be made to re-use similar materials that were on the original façade.
- The original massing and configuration of the façade should be respected when designing a new storefront.



The P.M. & L. Theatre continues to be a vitally important presence in Downtown Antioch. This local theatre group has provided live theatre to the region for a generation and continues to provide live performances.

The existing façade is still largely intact with its historic appearance. Efforts should be made to restore the current façade to its original historic appearance:

- Remove stone on the first floor and replace with matching red face brick which mirrors the second floor and the original materials of the theatre.
- Restore the main entrance into the theatre to its original historic appearance
- Restore the crowned cornice that was once located above the main entrance and create a new matinee sign that is more sensitive to the historic façade.
- Restore the port hole windows with their architectural detail.
- Tuck point and restore brick façade on existing theater.
- Restore roofline of original theatre and remove the gable roof that was added after the original construction.

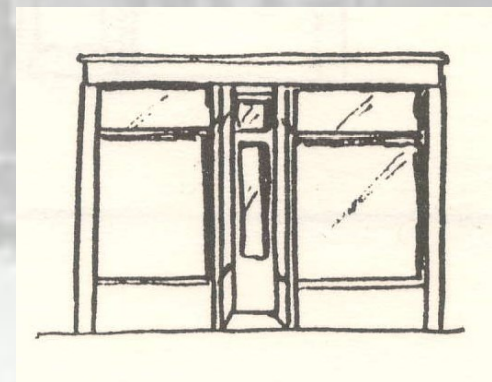
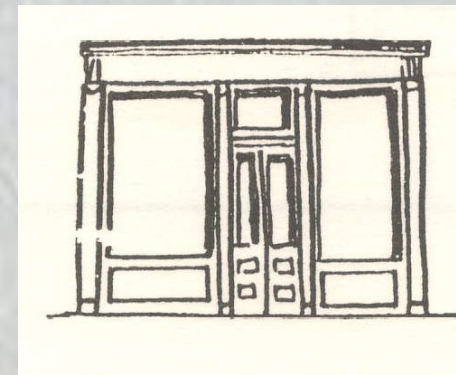
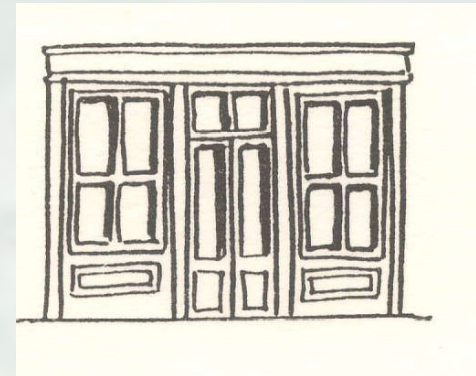


Courtesy: Arris Architects

STOREFRONT RENOVATIONS

The following illustrations show how a storefront can be renovated using these de-sign guidelines:

- Face brick should be tuck pointed and mortar repaired
- Windows should be restored with traditional window fenestration
- New glass store front windows with installation of bulkhead.



Store Front Restoration Options

Restoration of brick ornamentation



Restoration of brick cornice line

Restoration of brick frieze band

Restoration of brick pilasters

Installation of fabric awnings

New storefront windows incorporating historical patterns

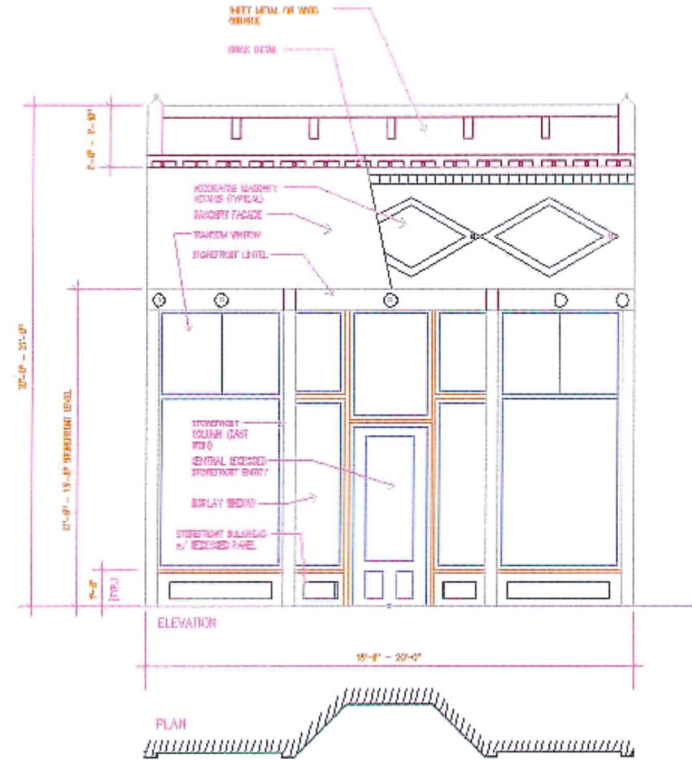
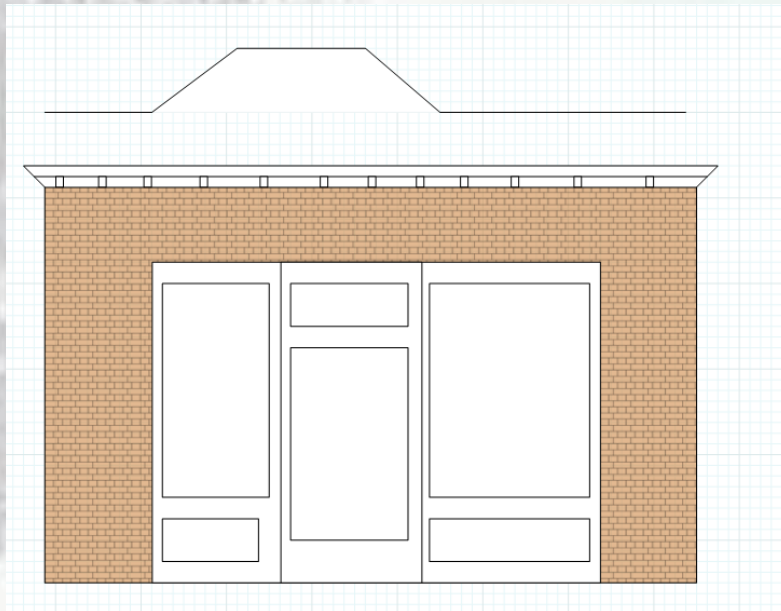
Traditional store front doors reflecting historical appearance with transom

Incorporation of bulkhead below store front windows, constructed of wood or cast iron





SENSITIVE INFILL DEVELOPMENT



One of the central goals of these Façade Design Guidelines is to accomplish the following:

- Retaining and preserving architectural details that define the building's historic character that include cornices, windows, architraves, door pediments, columns, steps, and maintain original bonding patterns, coating and color.
- Damages materials should be restored, and original historic colors should be used when possible.

DOORS and ENTRANCES

The location of the entrance and door design. Historically, most store display windows incorporated a centrally located door that was recessed into the store front.

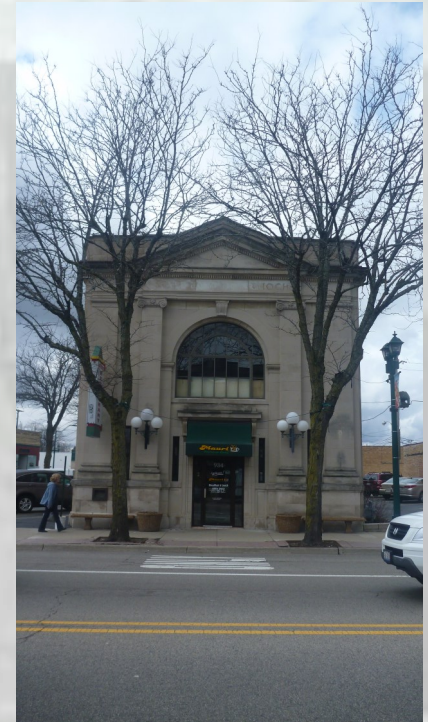
Doors

- One of the important and leading design elements of any storefront is the door and original doors should be preserved if possible. If a door must be replaced, it should be replaced with a door with similar materials and in the same design and location.
- Recommended
 - Maintain original entrance location
 - If there are numerous entrances within a storefront, each door design should mirror each other.
 - Every effort should be made to preserve original door and design elements.
 - Door features should be historically accurate and reflect the original design.

Avoid

- Changing location of the storefront door.
- Using contemporary or all glass doors.
- Storm doors should be avoided.
- Replacement of materials that are not consistent with the historical materials that would have been used.





Architectural Detail

- Architectural detail is a critically important of Antioch's Downtown character and fabric.
- Every effort should be made to restore or recreate architectural details as part of these façade design guidelines.
- Over time many architectural elements that once helped define the character of Main Street have been removed and every effort should be made to re-introduce these significant architectural design elements.
- Original materials and design motifs should be followed when restoring these important architectural details.

MAINTAIN ARCHITECTURAL DETAILS



The character of a building is often defined by the architectural detail that is incorporated on the façade. It may be a bay window on the second floor, a pediment, articulated frieze board or a myriad variation of other design elements that provides a visual character to the building.

When renovating any exterior, these guidelines call for the following design criteria to be followed:

- Historic pictures of Downtown Antioch should be reviewed and architectural details, texture, trim, should be restored to the facades as part of this Façade Program.
- Any unique bay windows, pediments, brackets, cornices, window architraves, door pediments, columns, friezes, murals, or brick patterns should be preserved.
- Damaged architectural details should be repaired if damaged and if damaged beyond repair, every effort should be made to duplicate the damaged architectural details
- If damaged beyond repair, any duplication of the architectural detail should finished using the same material or a like material.
- Original brick patterns, soldier courses, or any other brick detail original to a historic façade should be either restored or duplicated if damaged beyond repair.
- There are a nseveral Downtown buildings in which second floor bays have been removed. Every effort should be made to replace these bays windows.
- The following guidelines encourages for significant architectural details to be sensitively lighted at night.



Exterior detailing not only add to the character of the building, but often reveal a piece of its history. Decorative elements such as cornices, moldings and figurines should be regularly maintained to prevent deterioration. Restoration or reconstruction of these elements should be done by a knowledgeable craftsman with means and methods that are sensitive to the building and its materials. Historic photographs are a good source of helping a building owner understand what was originally a part of the building. Doing a physical exam can also often reveal clues as to what might have been part of the building's original story. Architectural Details Historic structures are often defined by their architectural detailing and ornamentation. On residential structures, eaves, brackets, columns, balusters, door and window casings, and other details such as molding, trim and clapboards all contribute significantly to the historic character of the building. Commercial buildings have cornices, friezes, columns, brick corbelling, string courses, quoins, columns, pilasters and other features that also enhance the architectural character of this building type.

-Original architectural components and details should be retained whenever possible.

-When architectural components and details must be replaced, the new components or details should match the historic elements as closely as possible in style, proportion, and material.

-Architectural components and details that are not appropriate to the historic character of the structure should not be added. New features should not be added unless there is a physical or other evidence that they historically exist.

-Historic architectural components should not be replaced with materials, such as plywood, vinyl, and aluminum that would not have been used in the original construction.

